



Town of Hanover, Massachusetts
Hanover High School



PMA Construction Services
Owner's Project Manager

HANOVER HIGH SCHOOL PROJECT *August 2010 – Monthly Status Report*

Project:	Hanover High School	Building Size:	157,000	Ph1 Substantial Completion:	June 2011
Current Phase:	Construction	Enrollment Projection:	800 Students	Ph2 Substantial Completion:	May 2012
Construction Type:	NEW	Facility Type:	High School	Project Total Duration:	32-months
Construction Start Date:	28Sep09	Reimbursement Rate:	48.21%	Day 337 of 611 to Ph1 Substantial:	55.2%

Project Safety Report

Safety Incidents this Month • [0]
Past Lost Time Incidents • [1]
Past Minor Reportable Incidents • [2]

Open Scope / Potential Issues

- Resolution of athletic turf field sub base drainage issue
- Getting building weathertight
- Slab on grade completion
- Installation of track surface and athletic field turf for early turnover
- Electrical utility cable pulls & XFMR installation
- Cedar Drive patching coordination with Cedar Elementary
- Building façade construction
- Pave area of subsurface infiltration bed #2
- Completion of maintenance and concession building interior finishes for early turnover
- Replacement of existing asbestos containing water main under future driveway
- Terrazzo contract procurement & schedule integration
- Resolution of commissioning agent punchlist items
- Preparation for FF&E / IT and move to new building
- Community Issues – none at this time.

Budget Status

Total Project Budget: \$50,106,069** as of 8/31/10
Actual Incurred to Date: \$23,380,982* as of 7/31/10 (46.7%)
Contingency Remaining: \$2,352,238 (89.7%)
***Subject to Final Revised PFA Agreement*

Construction Cost Summary:

Award Value (Callahan):	\$38,652,255.00
Previously Executed CO's (Net)	\$176,959.12
Previous Contract Value:	\$38,829,214.12
CO's Executed this Month:	\$0.00*
Current Contract Value:	\$38,829,214.12

Construction Payment Summary:

Previous Gross Amount:	\$15,713,736.38
This Month's Gross Amount:	\$3,288,165.00*
Gross Amount to-Date:	\$19,001,901.38*
Retainage To-Date @ 5%:	\$950,095.07*
Retainage Released	\$0.00
Current Retainage	\$950,095.07*
Total Net Payable To-Date:	\$18,051,806.31*

Remaining Balance to Finish (gross): **\$19,827,312.74***

*Note: August Requisition Not Yet Received, Value is Estimated

Project Status

August 2010 Progress

- PMA Performed OPM Duties (i.e. contract document compliance verification, project controls, real-time issues ID and resolution)
- Designer Continued Construction Administration (i.e. submittals, RFIs, weekly site visits, QA/QC, etc)
- Site Drainage & Utility Installation 95% Complete
- Site Parking Area Binder Complete and Curbs 90% Installed
- Main Bldg Rough MEP Approximately 70% Complete
- 90% of Bldg Slab on Grade Placed
- CMU Walls @ Gym/Locker Rooms Complete
- 2nd & 3rd Floor Framing Complete, 1st Floor 30%
- 2nd & 3rd Floor Wood Blocking Underway
- Brick Veneer Installation Underway, Approx 5-10% Complete
- Maintenance & Concession Bldg Interior Finishes 85% Complete
- Membrane Roofing Complete, Skylights Installed
- Field & Track Subgrade and Binder Installed, Lightpoles Installed
- Started Construction of Athletic Field Stands

September 2010 Forecasted Items

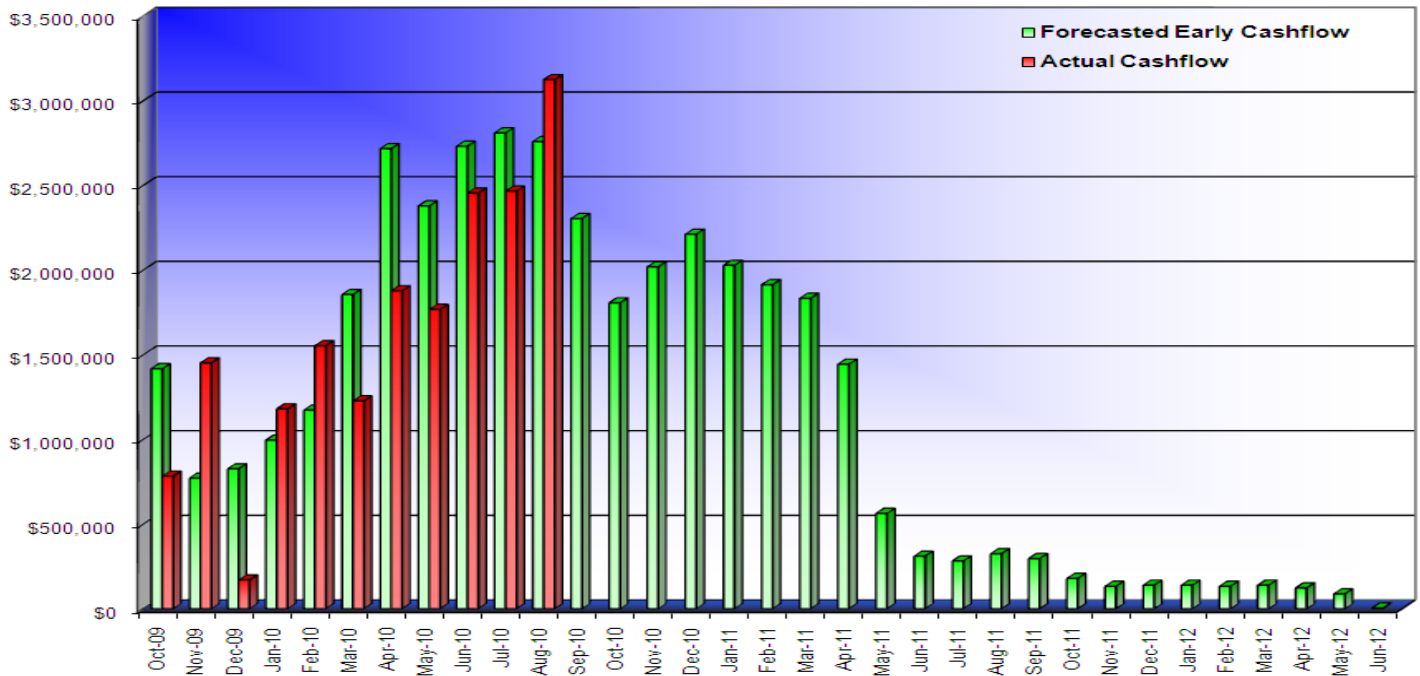
- Continue Classroom Wing MEPs
- Complete Slab on Grade Placement
- Complete Outbuildings, Close Punchlist and Prep for Turnover
- Continue Athletic Field Construction, Install Turf & Track
- Complete Stands at Athletic Field
- Metal Roof Installation
- Complete 1st Floor Interior Framing
- Complete Work on Tennis Courts (Previously Phase II)
- Continue Brick Façade Installation
- Deliver Windows to Site and Begin Installation



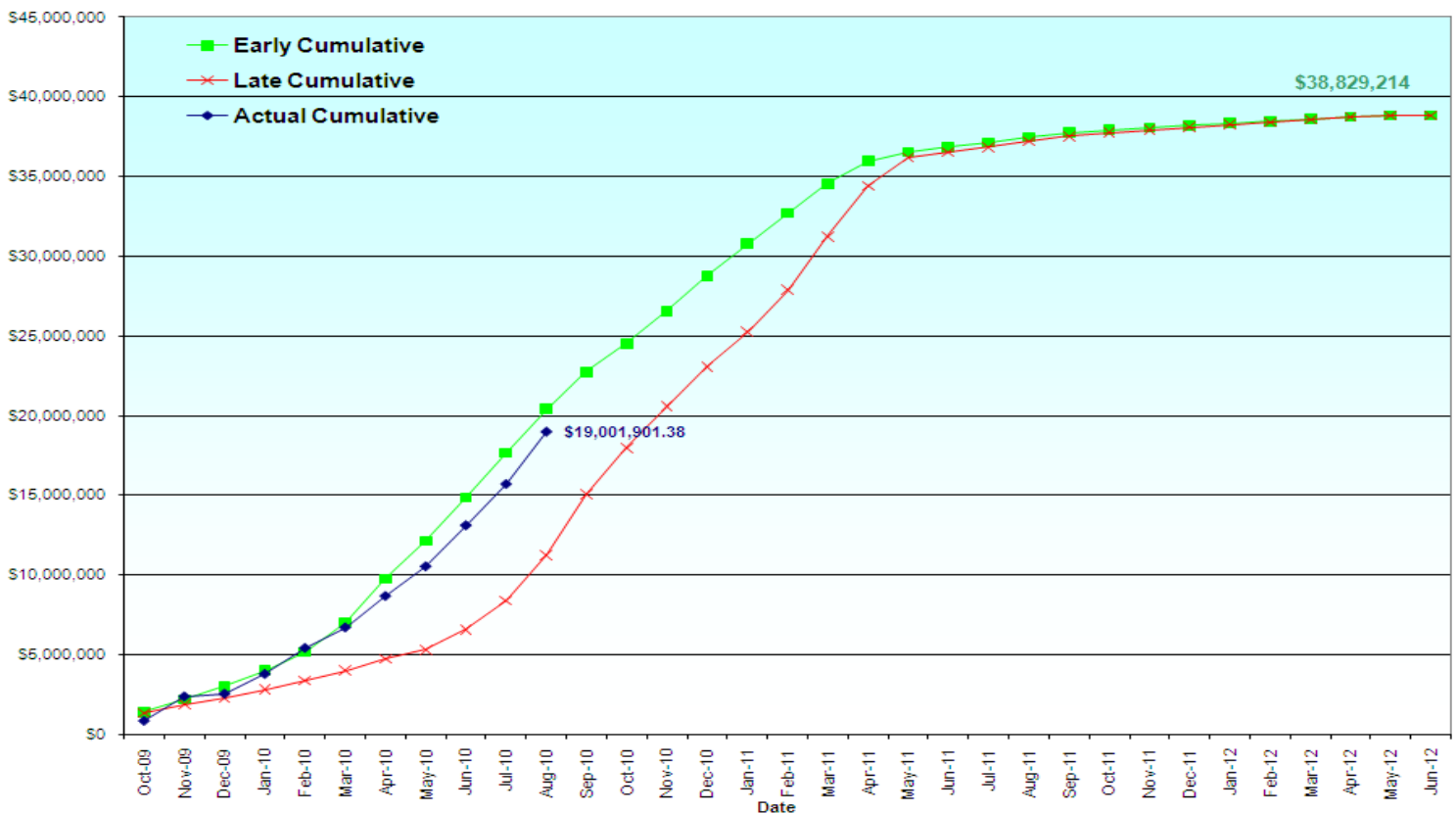
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Monthly Cashflow Projection (August Req Amount Estimated)



Cumulative Cashflow Projection (August Req Amount Estimated)



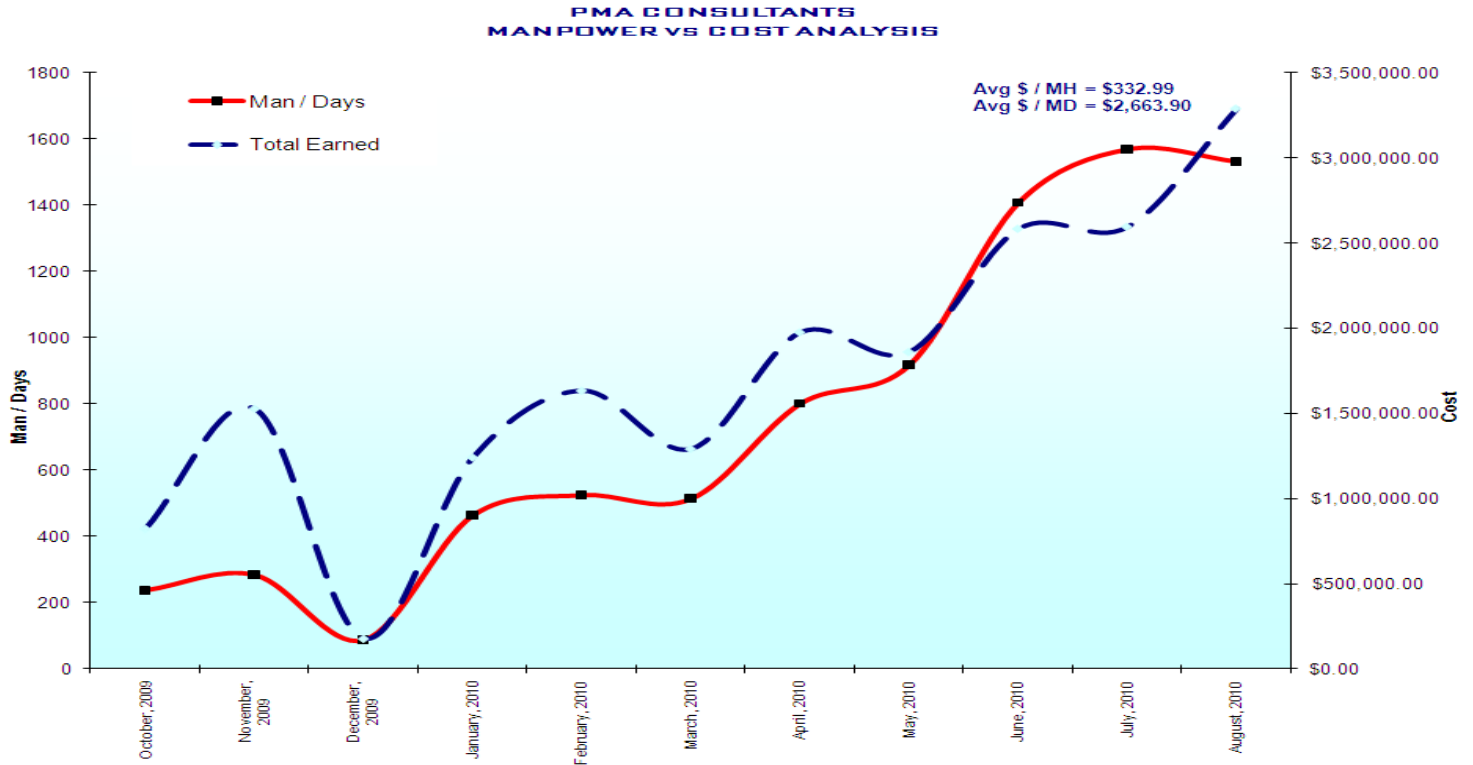


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Manpower vs Cost Analysis (August Req Amount Estimated)



Milestone Dates

Milestone Dates	Baseline	Forecast	Actual	Status	Schedule Notes
Construction Start - NTP	01Oct09		28Sep09	✓	On Schedule
OH MEP Work Start Milestone	20Apr10		12Apr10	✓	On Schedule
Building Envelope Start Milestone	28Apr10		26Apr10	✓	On Schedule
Begin Slab on Grade Placement	05Feb10		27May10	✓	No Critical Path Impact – Float Utilized
Begin Main Building Brick Veneer	28Jul10		12Aug10	✓	No Critical Path Impact – Float Utilized
Begin Electrical Cut-In	17Aug10	09Sep0		✓	No Critical Path Impact – Float Utilized
Ph1A Substantial Completion	15Oct10	14Sep10		✓	On Schedule (may be later due to turf field issues)
Begin Startup Checkout HVAC Systems	26Nov10	09Nov10		✓	On Schedule
Permanent Power Online	18Jan11	15Dec10		✓	On Schedule

HS08 Schedule Submission (HS09 August Update Not Yet Submitted)

Contract Milestone Analysis

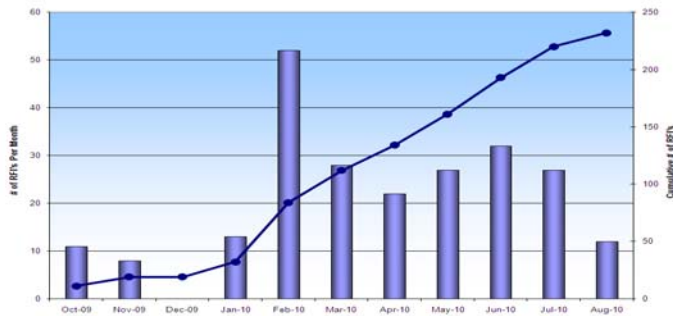
Phase	Contract	HS07	HS08	Float
Ph1 Substantial	01Jun11	07Jun11	01Jun11	0
Ph1A Substantial	01Jun11	23Aug10	14Sep10	179
Ph2 Substantial	01May12	27Apr12	27Apr12	6

- The primary critical path to Phase 1 substantial completion in the HS08 schedule submission flows through the main building interior framing, rough MEPs, drywall, interior finishes (incl. paint, floors, ceilings, doors, millwork/casework, MEP finishes, etc) and continues on to punchlist, HVAC startup/testing, & inspections. This path currently contains 0 days of total float.
- The longest path to the Phase 2 Substantial Completion contract milestone flows through Phase 1 completion, building abatement/demolition, site prep, construction of athletic fields, and final site improvements.

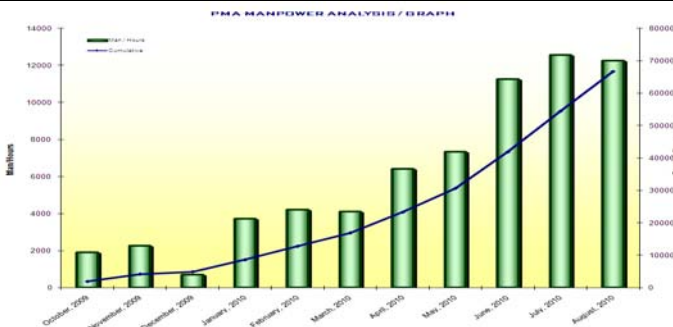


Graphs & Data

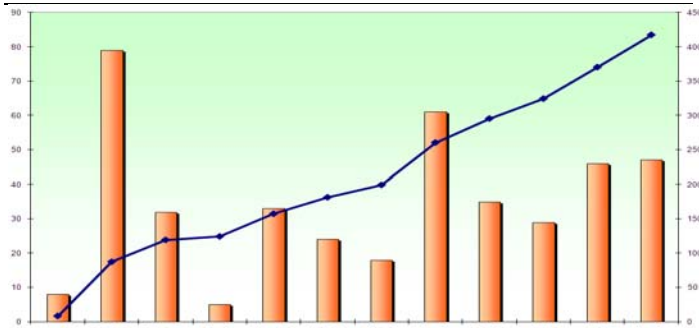
Requests for Information (RFIs)



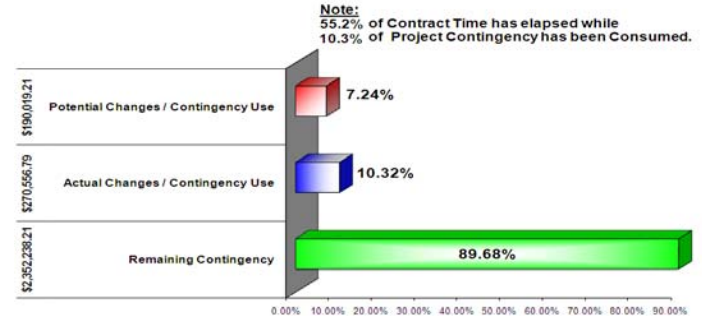
Monthly Manpower



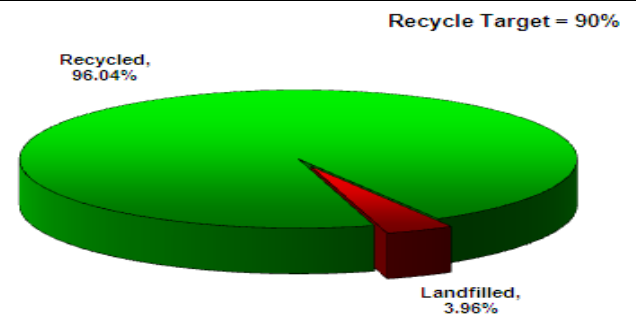
Economic Impact – Work Force Employed To-Date



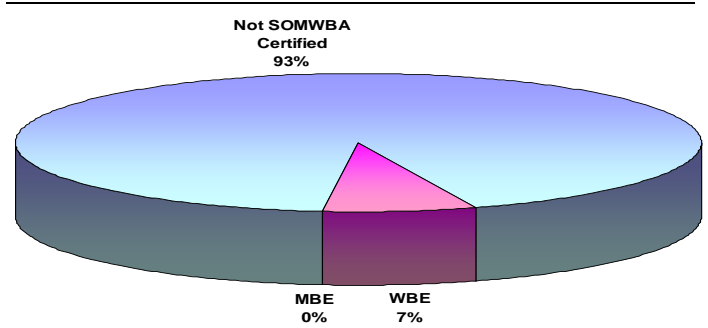
Contingency Utilization



MA-CHPS Waste Management



MBE / WBE Participation



PMA Change Management

PMA Potential Change Order Log

	Received	Description	Proposed Amount (\$)	Approved Amount (\$)	Time Extension (Y/N)	Current Status	Responsibility
PCO #6	3/16/10	Waterline Replacement Option #1 (Lopes)	\$84,507.51		N	Open	Lopes
PCO #7	NA	Force Main Repair	TBD			Open	Callahan
PCO #8	NA	Add 1 MH & Wider Ductbank for NGRID	TBD			Open	Callahan
PCO #9	6/4/10	RFI #123-2 Added Soffits for RLs @ B313 and B314	\$1,126.81	\$1,126.81	N	Approved	VPS
PCO #14	8/4/10	PR #8 Stair #4 Railing	\$29,266.87	\$31,000.00	N	Approved	Callahan
PCO #16	7/30/10	Additional Pruning Around Track	\$24,732.89	\$24,732.89	N	Approved	Lopes
PCO #18	7/30/10	Cedar St. Grind & Re-pave	\$49,599.93		N	Open	Callahan
PCO #20	6/30/10	RFI #79 & 139 Additional Ductwork and Grills	\$6,195.04		N	Open	Sagamore
PCO #22	7/31/10	45 Degree Angles Curb and radiused Return	\$5,561.18	\$5,561.18	N	Approved	Lopes
PCO #23	8/6/10	ASI #32 Metal Wall Panels Credit	-\$20,000.00		N	Open	Callahan
PCO #24	8/10/10	Concessions Drainage and Fence Revision	\$7,223.45	\$6,500.00	N	Approved	Lopes
PCO #25	8/10/10	ASI #34 Hand Dryers Added Wire at Concession Stand	\$56,884.96		N	Open	Griffin/Lopes
PCO #26	8/25/10	ASI #49 Bollards at Maint. Bldg	\$3,547.77	\$3,547.77	N	Approved	Callahan
PCO #27	8/25/10	Additional Shoring of Decks Per SKS CA03-05	\$3,336.00		N	Open	Town
PCO #28	8/30/10	Dual Ring Infiltrometer Test	\$4,109.98		N	Open	
PCO #29	8/25/10	Misc. Lopes	\$2,685.65		N	Open	Town
PCO #30	8/25/10	Blocking for Visual Display Boards	\$5,000.00	\$5,000.00	N	Approved	PMA/HMFH
PCO #31	8/25/10	Path to Scoreboard	\$5,124.36		N	Open	HMFH
PCO #35	8/26/10	Concession Manhole Covers	\$1,131.09		N	OPEN	PMA



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Progress Photos

Main Building – Air Vapor Barrier Installed



Concrete Sidewalks at Athletic Field



Infiltration Bed #2 Installation (Phase II Scope – Ahead of Schedule)



Brick Veneer – East Elevation



Brick / Rigid Insulation – East Elevation



First Floor Framing & Rough OH Mechanical

