



Town of Hanover, Massachusetts
Hanover High School



PMA Construction Services
Owner's Project Manager

HANOVER HIGH SCHOOL PROJECT *December 2010 – Monthly Status Report*

Project:	Hanover High School	Building Size:	157,000	Ph1 Substantial Completion:	June 2011
Current Phase:	Construction	Enrollment Projection:	800 Students	Ph2 Substantial Completion:	May 2012
Construction Type:	NEW	Facility Type:	High School	Project Total Duration:	32-months
Construction Start Date:	28Sep09	Reimbursement Rate:	48.21%	Day 459 of 611 to Ph1 Substantial:	75.1%

Project Safety Report

Safety Incidents this Month • [0]
Past Lost Time Incidents • [1]
Past Minor Reportable Incidents • [2]

Open Scope / Potential Issues

- Decision regarding A/C in Gym and schedule integration
- Terrazzo colors, start date & schedule integration
- Carpet, auditorium acoustic panels and stage curtain color selection
- Mechanical unit delivery and installation
- Telephone, network and security vendor coordination
- Verizon and Comcast installation coordination
- Completion of maintenance and concession building punchlist activities
- Commissioning coordination
- Equipment startups, testing and owner training
- IT equipment selection, procurement and installation coordination
- FF&E selection, procurement and coordination
- Preparation for move to new building & vacate existing
- Community Issues – none at this time.

Budget Status

Total Project Budget: \$50,729,605 as of 12/31/10
Actual Incurred to Date: \$31,578,231 as of 12/31/10 (62.2%)
Contingency Remaining: \$1,643,547(62.7%)
***Subject to Final Revised PFA Agreement*

Construction Cost Summary:

Award Value (Callahan):	\$38,652,255.00
Previously Executed CO's (Net)	\$854,385.17
Previous Contract Value:	\$39,506,640.17
CO's Executed this Month:	\$0.00*
Current Contract Value:	\$39,506,640.17*

Construction Payment Summary:

Previous Gross Amount:	\$24,968,942.27
This Month's Gross Amount:	\$1,786,694.00*
Gross Amount to-Date:	\$26,755,636.27*
Retainage To-Date @ 5%:	\$1,337,781.81*
Retainage Released	\$0.00
Current Retainage	\$1,337,781.81*
Total Net Payable To-Date:	\$25,417,854.46*

Remaining Balance to Finish (gross): **\$12,751,003.90***

*NOTE: December requisition value is approximate.

Project Status

December 2010 Progress

- PMA Performed OPM Duties (i.e. contract document compliance verification, project controls, real-time issues ID and resolution)
- Designer Continued Construction Administration (i.e. submittals, RFIs, weekly site visits, QA/QC, etc)
- RTU's 10, 11 and 12 Delivered and Set
- Elevator Installation Commenced
- Building A Temp Heated and Finishes Underway
- 2nd & 3rd Floor Wallboard Complete, 1st Floor 60% Complete
- 2nd & 3rd Floor Paint & Primer Approx 50% Complete
- 2nd & 3rd Floor Ceiling Grid Approx 40% Complete
- 2nd Floor Ceramic Tile Installation Approx 30% Complete
- Stair 4 Erected in Cafeteria
- Building Commissioning Continued
- Meetings Held with Verizon and Comcast to Coordinate Install

January 2011 Forecasted Items

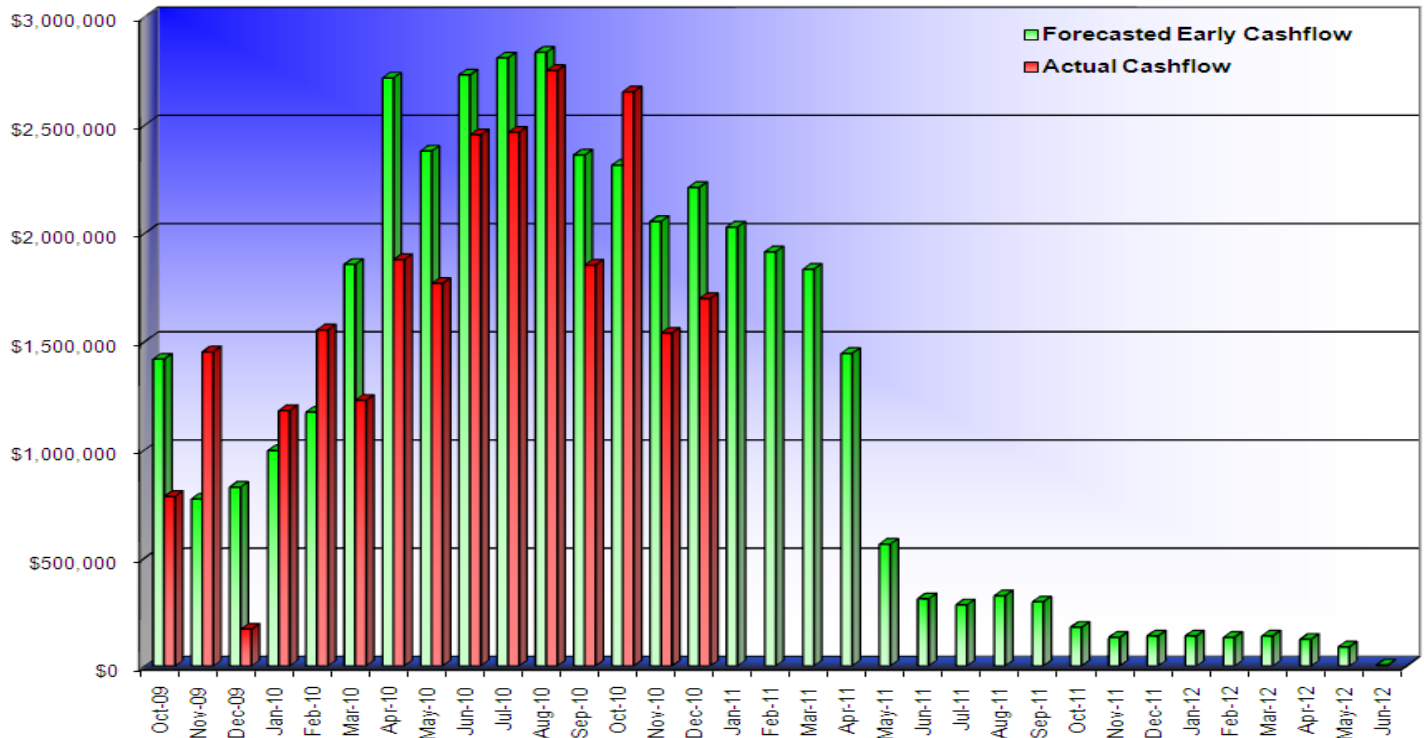
- Complete Sheetrock in Building A
- Continue Prime/Paint 2nd and 3rd Floors, Start 1st Floor
- Continue Elevator Installation
- Terrazzo Flooring Schedule Integration
- Begin Metal Panel Installation
- Complete 2nd Floor Tile Installation, Begin 3rd Floor
- Begin 2nd and 3rd Floor Light Fixture Installation
- HVAC Unit Startup / Testing / Commissioning
- Continue Boiler Room Equipment Installation
- Deliver & Set Remaining Rooftop Units
- Auditorium Carpet, Curtain & Panel Color Selections
- Complete Phase 1A Worklist/Punchlist and Prep for Turnover



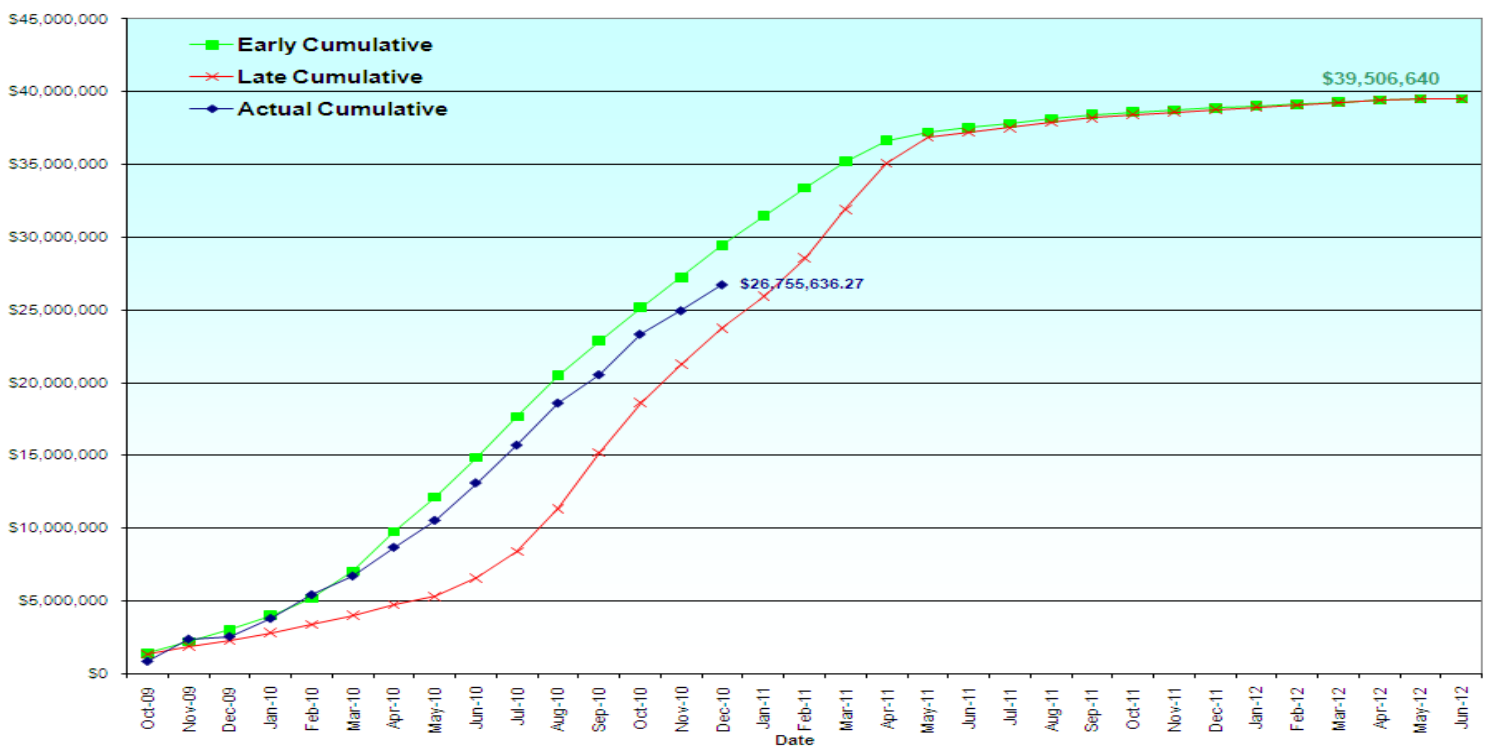
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Monthly Cashflow Projection (NOTE: December req value is approximate)



Cumulative Cashflow Projection (NOTE: December req value is approximate)



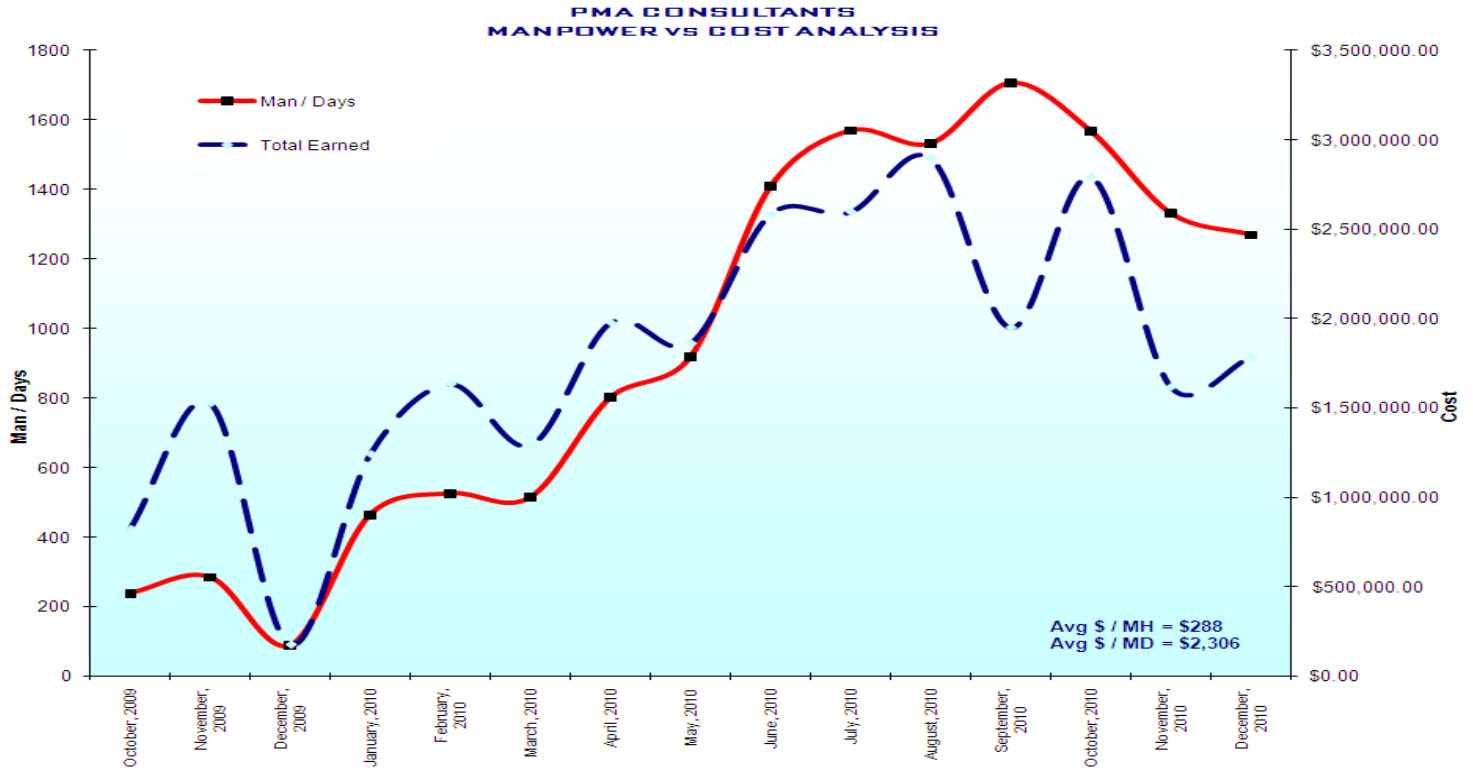


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Manpower vs Cost Analysis (NOTE: December req value is approximate)



Milestone Dates

Milestone Dates	Baseline	Forecast	Actual	Status	Schedule Notes
Construction Start - NTP	1Oct09		28Sep09	✓	On Schedule
Permanent Power Online	18Jan11		25Nov10	✓	On Schedule
Begin Prime / Paint Main Bldg	21Oct10		02Dec10	✓	Critical Path Impacted: Working to Mitigate
Startup / Checkout Electrical Equipment	18Jan10		14Dec10	✓	On Schedule
Erect Stair #4 – Cafeteria	6Jun10		09Dec10	✓	Critical Path Delay Mitigated
Ph1A Substantial Completion	1Sep10	11Jan11			No Critical Path Impact – Float Utilized
1 st Floor Drywall Complete, Taped, Sanded	19Oct10	28Jan11			Critical Path Impacted: -4 Days Float – Working to Mitigate
Begin Startup Checkout HVAC Systems	26Nov10	31Jan11			No Critical Path Impact – Float Utilized
Phase 1 Substantial Completion	1Jun11	23Jun11			Critical Path Impact by Gymnasium, Auditorium & 1 st Floor

HS13 Schedule Submission

Contract Milestone Analysis

Phase	Contract	HS12	HS13	Float
Ph1 Substantial	01Jun11	21Jun11	23Jun11	-16
Ph1A Substantial	01Jun11	14Dec10	11Jan11	99
Ph2 Substantial	01May12	14May12	09May12	-6

- The primary critical path to Phase 1 substantial completion in the HS13 schedule submission flows through the gymnasium / lock room rough MEPs, ceilings, sprinkler drops, HVAC connections/trim, prime/paint, tile, bathroom fixtures, misc specialties and doors/hardware and continues on to HVAC testing/balancing & final inspections. This path currently contains -16 days of total float.
- The longest path to the Phase 2 Substantial Completion contract milestone flows through Phase 1 completion, building abatement/demolition, site prep, construction of athletic fields, and final site improvements.



Massachusetts School Building Authority

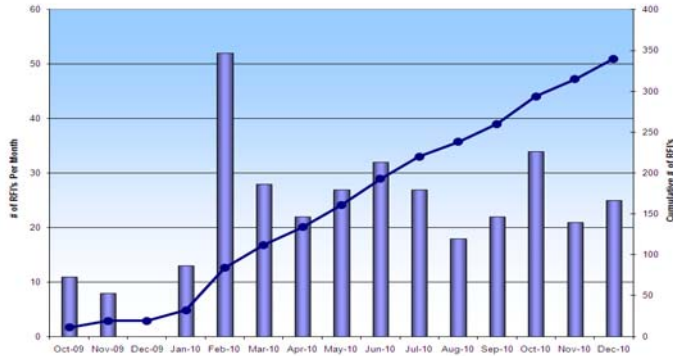


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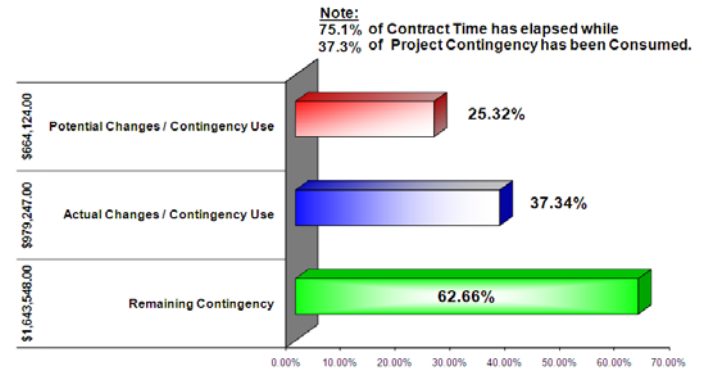
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Graphs & Data

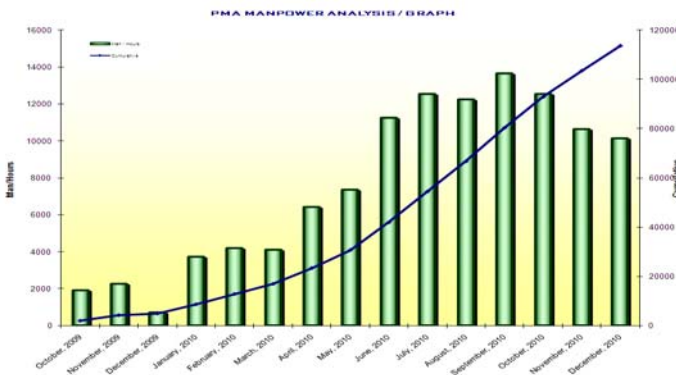
Requests for Information (RFIs)



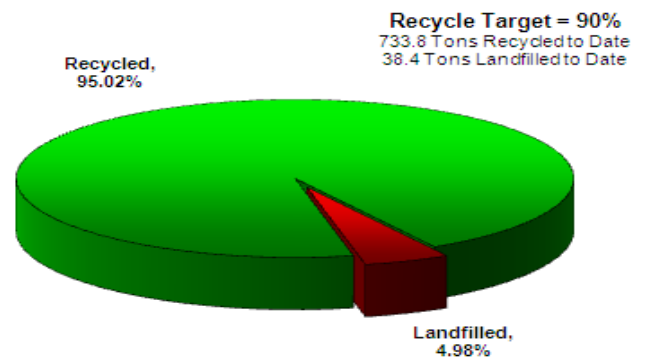
Contingency Utilization



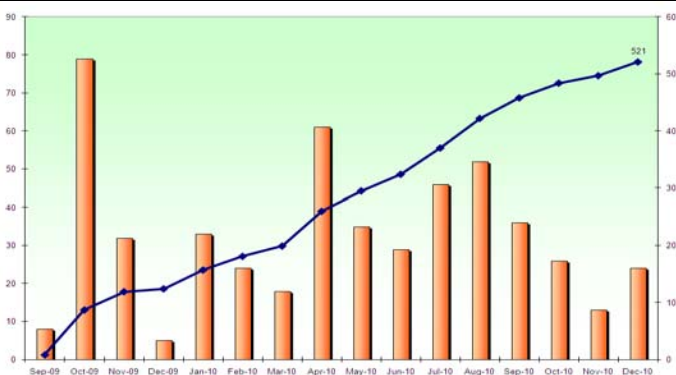
Monthly Manpower



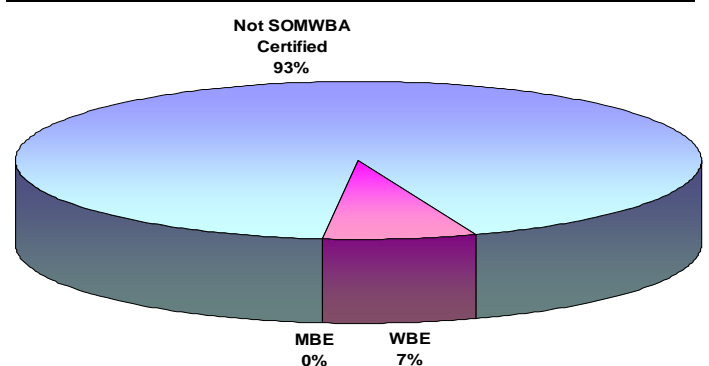
MA-CHPS Waste Management



Economic Impact – Work Force Employed To-Date



MBE / WBE Participation



PMA Change Management

PMA Potential Change Order Log						
	Received	Description	Proposed Amount (\$)	Pending Amount (\$)	Approved Amount (\$)	Current Status
		Total	\$1,983,057.65	\$664,124.96	\$854,385.17	
PCO #56	10/28/2010	Existing Generator per RFI #270	\$11,756.00	\$0.00		Open
PCO #57	11/2/2010	Raise Roof Drains per ASI #222	\$5,456.00	\$0.00		Open
PCO #78	12/10/2010	Masterswitches for Lighting Control per RFI #222	\$4,964.00	\$0.00		Open
PCO #77	12/10/2010	Labor Rate and Benefit Increase	\$40,553.00	\$0.00		Open
PCO #80	12/10/2010	Floor Box Conduit Extensions per RFI #224.1	\$1,357.00	\$1,357.00		Open
PCO #71	11/22/2010	Unit Heater Power per RFI #300	\$1,209.00	\$1,441.71		Open
PCO #68	11/20/2010	Water Heaters per RFI #292 & 299	\$1,635.00	\$1,500.00		Open
PCO #52	12/3/2010	Added Soffit at Library per ASI #58	\$2,106.00	\$2,106.00		Open
PCO #79	12/10/2010	Added Conduit for Bookshelf per RFI #254	\$2,349.00	\$2,109.00		Open
PCO #69	11/20/2010	Re-labeling of Panel Schedules per RFI #237	\$2,743.00	\$2,326.00		Open
PCO #76	12/10/2010	Fieldhouse Sound System & LP Change per RFI #248	\$20,107.00	\$3,498.48		Open
PCO #73	11/22/2010	Conduit Extension per RFI #295	\$5,918.00	\$3,943.22		Open
PCO #20	6/30/2010	RFI #79 & 139 Additional Ductwork and Grills	\$6,195.04	\$3,980.29		Open
PCO #37	8/27/2010	Dimming Change and Overhead Ceiling Doors	\$7,626.27	\$4,305.26		Open
PCO #64	11/19/2010	Added Duct Smokes per RFI #298	\$4,955.00	\$4,955.00		Open
PCO #41(R1)	9/18/2010	Pre-cast Medallion and Brick Change	\$5,045.00	\$5,045.00		Open
PCO #50	10/8/2010	Hardware Change to Intruder Function	\$5,811.00	\$5,811.00		Open
PCO #67	11/20/2010	Bleacher Power per RFI #157	\$9,680.00	\$6,611.00		Open
PCO #21	11/1/2010	Cedar School Track Access ASI CSS #003	\$8,387.00	\$6,973.00		Open
PCO #53	11/17/2010	Aluminum Grate Change to Stainless Steel	\$8,841.00	\$8,841.00		Open
PCO #18_001	7/30/2010	Cedar St. Grind & Re-pave	\$49,599.93	\$35,554.00		Open
PCO #84B	12/21/2010	Option B- Chilled Water Coils per COR #3	\$166,900.00	\$166,900.00		Open
PCO #52	12/8/2010	Terrazzo PR#7	\$396,668.00	\$396,668.00		Open



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Progress Photos

Stair #4 - Cafeteria



2nd Floor Ceiling Grid and OH MEP Rough



2nd Floor Corridor Wall Tile



Library



Roof Top Units 11 & 12 on Bldg B



2nd Floor Science Lab

